

PUBLIC NOTICE

Notice is Hereby Given that the Tooele City Council will meet in a Work Session, on Wednesday, December 2, 2020 at the hour of 5:30 p.m. The Meeting will be held at the Tooele City Hall Council Chambers, located at 90 North Main Street, Tooele, Utah.

Tooele City has implemented Governor Herbert's guidelines regarding public gatherings. We strongly encourage you to join the City Council meeting electronically by logging on to the Tooele City Facebook page, at <https://www.facebook.com/tooelecity>.

If you choose to attend we ask that you maintain social distancing and wear a face covering. In compliance with public health guidelines Tooele City can accommodate limited capacity at City Hall. Due to limited space and social distancing requirements, we ask that you limit the number of people that attend with you.

1. Open City Council Meeting

2. Roll Call

3. Mayor's Report

4. Council Member's Report

5. Derald Anderson Annexation Discussion

6. Cons of Ranked Choice Voting

Presented by Marilyn Gillette, Tooele County Clerk

7. Land Use Map Amendment for Halim Kurti on 3.37 Acres at Approximately 400 East 1000 North to the High Density Land Use Designation

Presented by Jim Bolser, Community Development Director

8. Discussion on Potential City Code Text Amendment Regarding Private Road Standards

Presented by Jim Bolser, Community Development Director

9. Closed Meeting

- Litigation, Property Acquisition, and Personnel

10. Adjourn

Michelle Y. Pitt
Tooele City Recorder

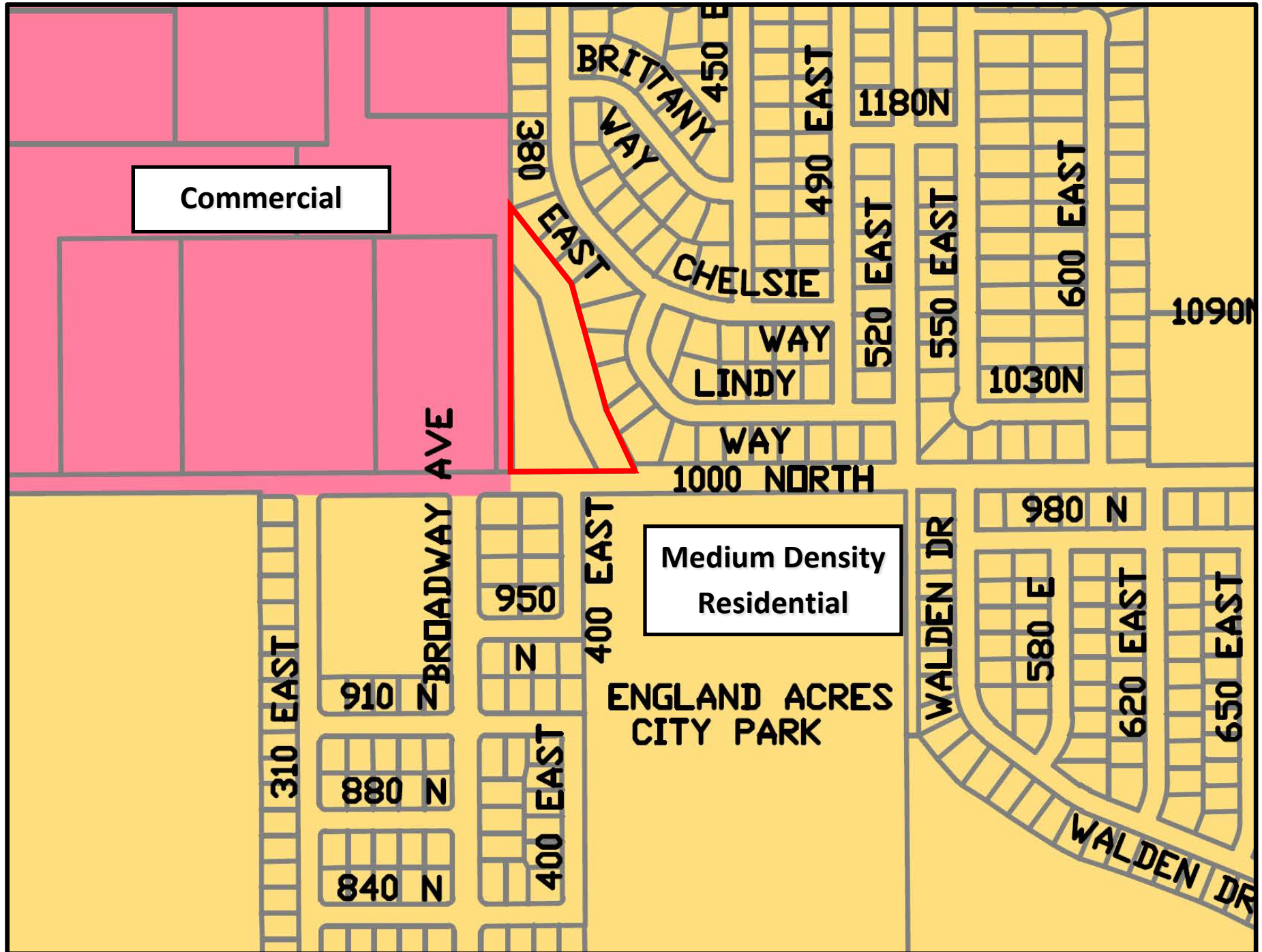
Pursuant to the Americans with Disabilities Act, Individuals Needing Special Accommodations Should Notify Michelle Y. Pitt, Tooele City Recorder, at 435-843-2113 or michellep@tooelecity.org, Prior to the Meeting.

Halim Kurti Land Use Map Amendment

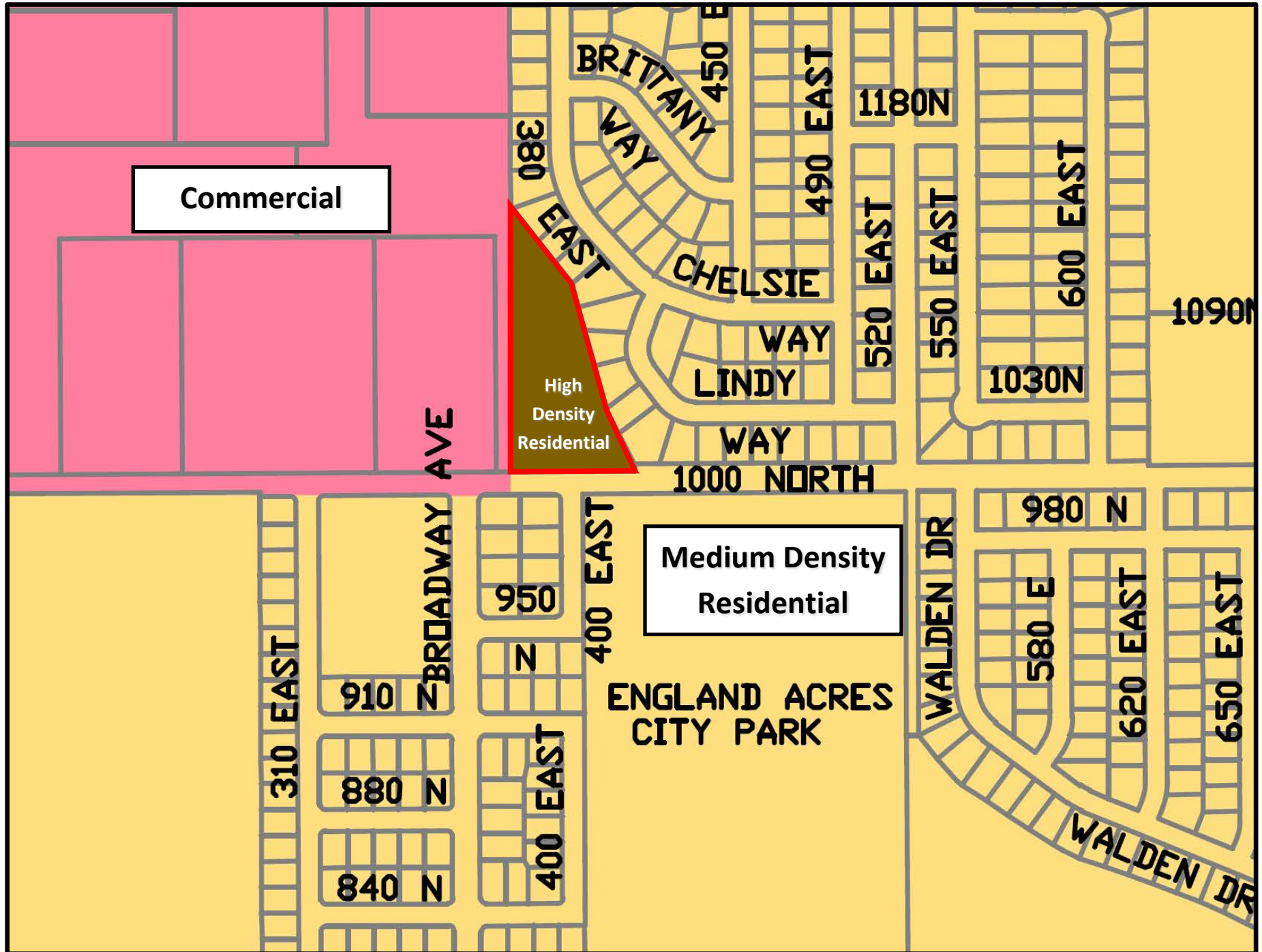


Aerial Map

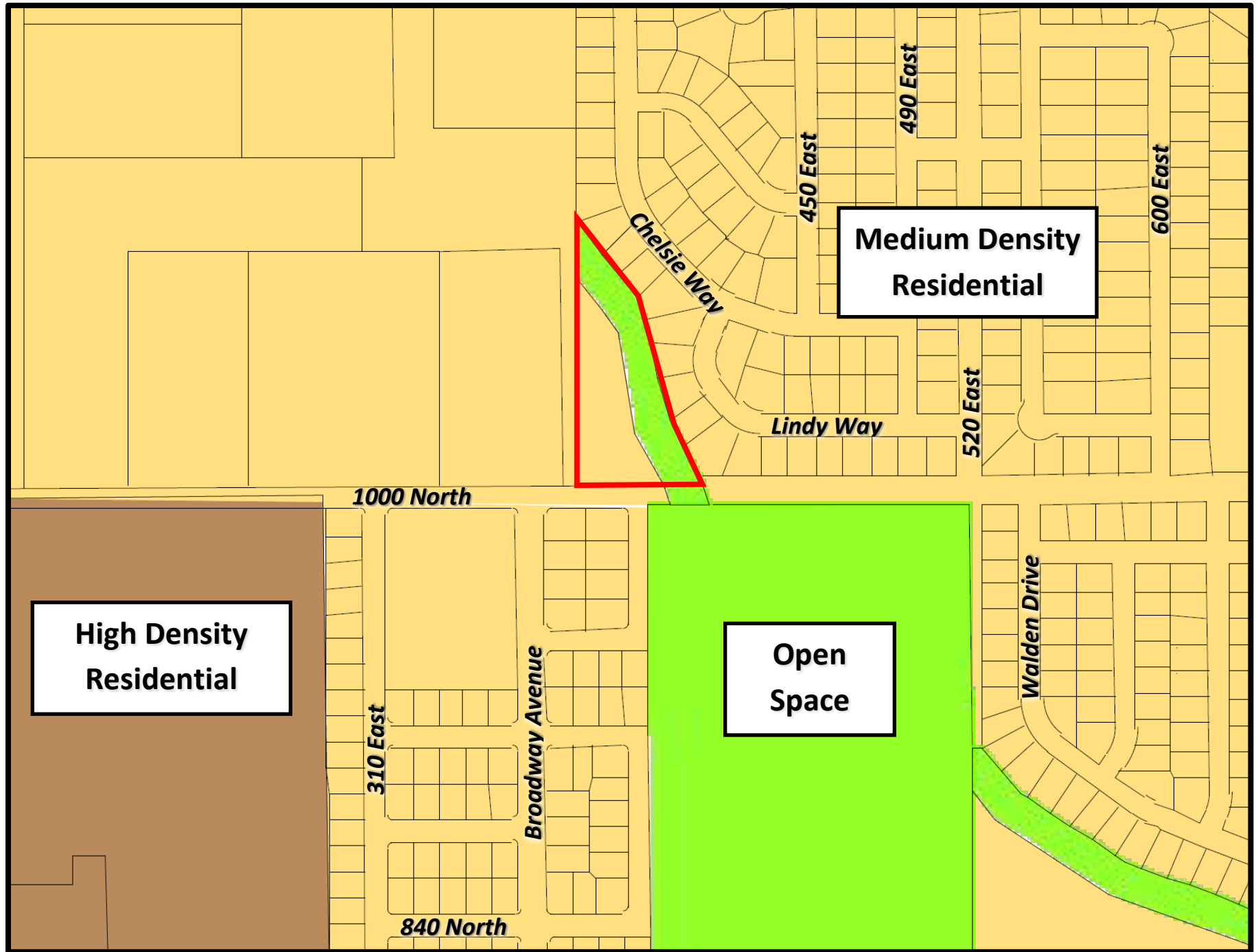
Halim Kurti Land Use Map Amendment



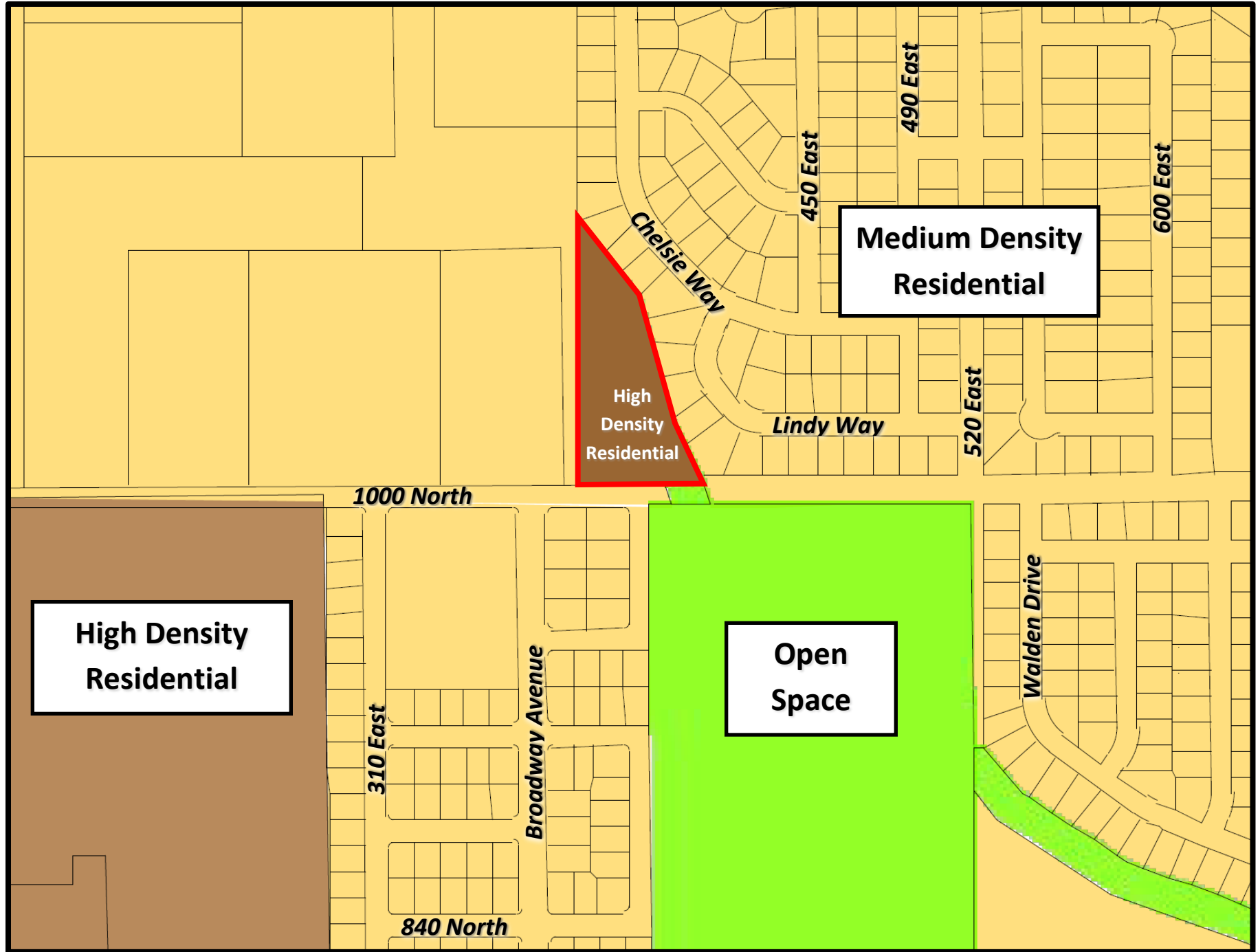
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TITLE 4. BUILDING REGULATIONS

CHAPTER 8. ROAD AND BRIDGE CONSTRUCTION STANDARDS

4-8-2. Street Design.

- (15) All streets proposed or intended to be built, owned, or maintained as private streets shall be designed and constructed to the same standards and specifications, ~~including cross sections~~, outlined in this chapter for public local class or larger streets. Private streets may not be reduced in width to be more narrow than 30 feet of asphalt with curb and gutter on each side. Any private street proposed with less than 34 feet of asphalt shall be required to prevent on-street parking through private enforcement. Land use applications that include proposed private streets that are more narrow than 34 feet shall include, as a part of the application, a mechanism by which perpetual enforcement preventing on-street parking is ensured. Private streets may propose alterations to the cross section for the street regarding sidewalks and parkstrips but shall maintain pedestrian access throughout the development and in compliance with requirements of the Americans with Disabilities Act (ADA).

TITLE 7. UNIFORM ZONING TITLE OF TOOELE CITY

CHAPTER 11a. DESIGN STANDARDS: MULTI-FAMILY RESIDENTIAL

7-11a-13. Design Standards: Parking and Internal Circulation.

- (10) Roads on the interior of a Project, whether proposed or intended to be public or private, shall comply with Section 4-8-2 of the Tooele City Code ~~are encouraged to emulate the horizontal cross section of public roads and shall meet the same minimum vertical construction standards as public roads.~~

CHAPTER 11. DESIGN REVIEW

7-11-8. Considerations in review of applications.

The ~~Planning Commission and the Engineering Department~~ City shall consider the following matters, among others, in their review of applications:

- (1) Considerations relating to traffic safety and traffic congestion:
 - (a) The effect of the site development plan on traffic conditions on abutting streets.
 - (b) The layout of the site with respect to locations and dimensions of vehicular and pedestrian entrances, exits, drives, and walkways.
 - (c) The arrangement and adequacy of off-street parking facilities to prevent traffic congestion.
 - (d) The location, arrangement, and dimensions of truck loading and unloading facilities.
 - (e) The circulation patterns within the boundaries of the development.
 - (f) The surfacing and lighting of off-street parking facilities.
 - (g) The effect of the site development plan on traffic conditions for uses within the development, including compliance with Chapter 4-8 of the Tooele City Code.

CHAPTER 19. SUBDIVISIONS

7-19-9. Plats and data for approval of preliminary plan.

The following data and plats are required for approval of the preliminary plan:

- (1) Topographic data required as a basis for the preliminary plan, in subsection (B) below, shall include existing conditions as follows, except when otherwise specified by the Planning Commission:
 - (a) Boundary line: Bearing and distances of all boundary lines of the subdivision as proposed.

- (b) Easements: The location, width and purpose of all easements of the subdivision.
- (c) Streets on and adjacent to the tract: Name and right-of-way width and location of all streets of the proposed subdivision; type, width and elevation of surfacing [*in compliance with Chapter 4-8 of the Tooele City Code*](#); any legally established centerline elevations, walks, curbs, gutters, culverts, etc.